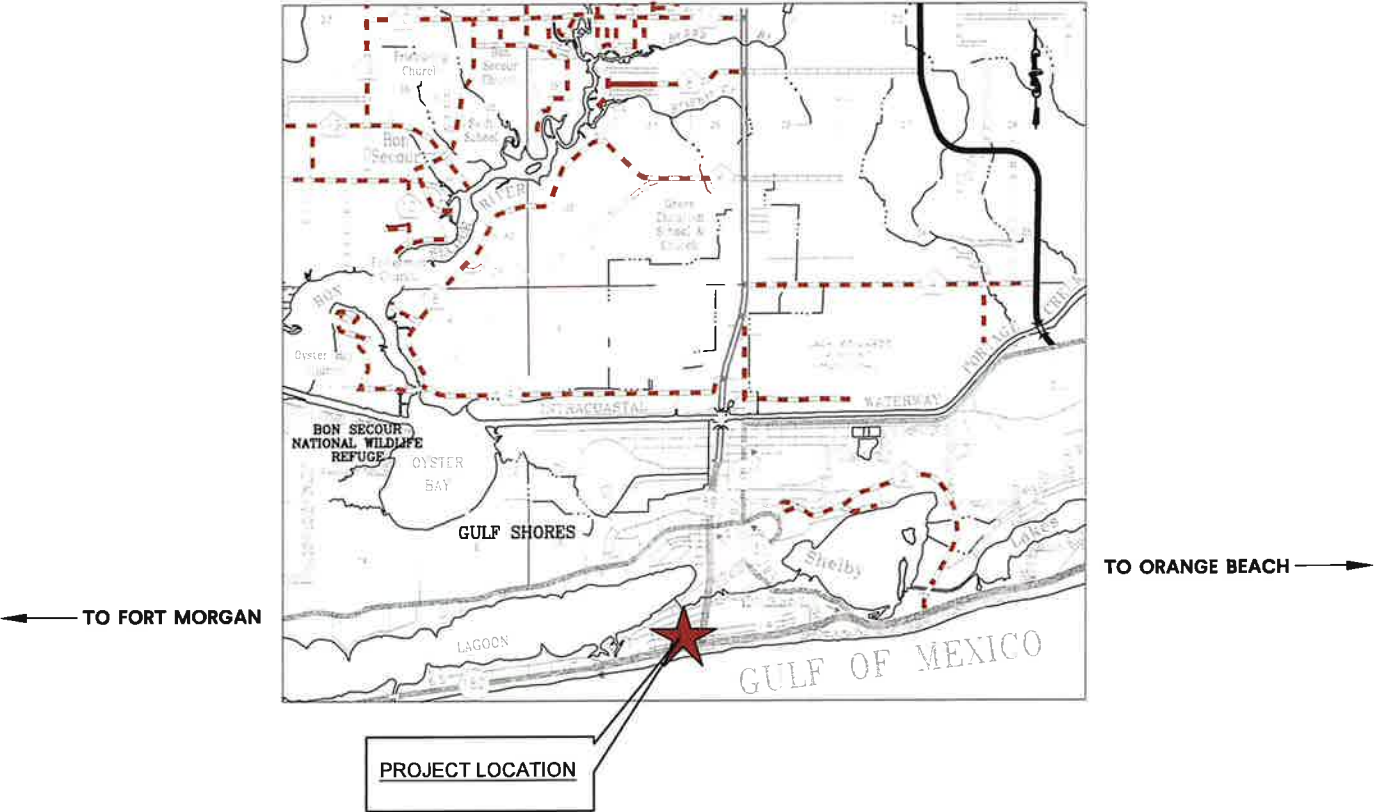


EMBASSY SUITES
WEST BEACH BOULEVARD
(AKA: ALABAMA STATE HIGHWAY 182)
GULF SHORES, ALABAMA

GOODWYN | MILLS | CAWOOD JOB NUMBER CMOB190198
JANUARY, 2022

| INDEX TO DRAWINGS | | |
|-------------------|----------|-------------------------------------|
| SHT NO. | SEQ. NO. | DESCRIPTION |
| 1 | COVER | INDEX TO DRAWINGS & VICINITY MAP |
| 2 | C-2.01 | EXISTING CONDITIONS-DEMOLITION PLAN |
| 3 | C-3.01 | OVERALL SITE PLAN |
| 4 | C-4.01 | SITE GRADING AND DRAINAGE PLAN |
| 5 | C-5.01 | SITE GEOMETRIC PLAN |
| 6 | C-6.01 | SITE UTILITY PLAN |
| 6A | C-6.02 | FIRE SAFETY PLAN |
| 7 | C-7.01 | CIVIL CONSTRUCTION NOTES |
| 8 | C-8.01 | CIVIL CONSTRUCTION DETAILS |
| 9 | C-9.01 | EROSION CONTROL PLAN |
| 10 | C-9.02 | EROSION CONTROL DETAILS |
| 11 | C-10.01 | MATERIAL STORAGE/LAYDOWN AREA PLAN |



VICINITY MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

Gulf Shores, ALABAMA
BALDWIN COUNTY

NOT FOR CONSTRUCTION

GOODWYN | MILLS | CAWOOD

2039 MAIN STREET | Daphne, AL 36526

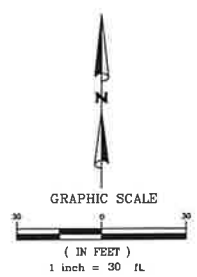
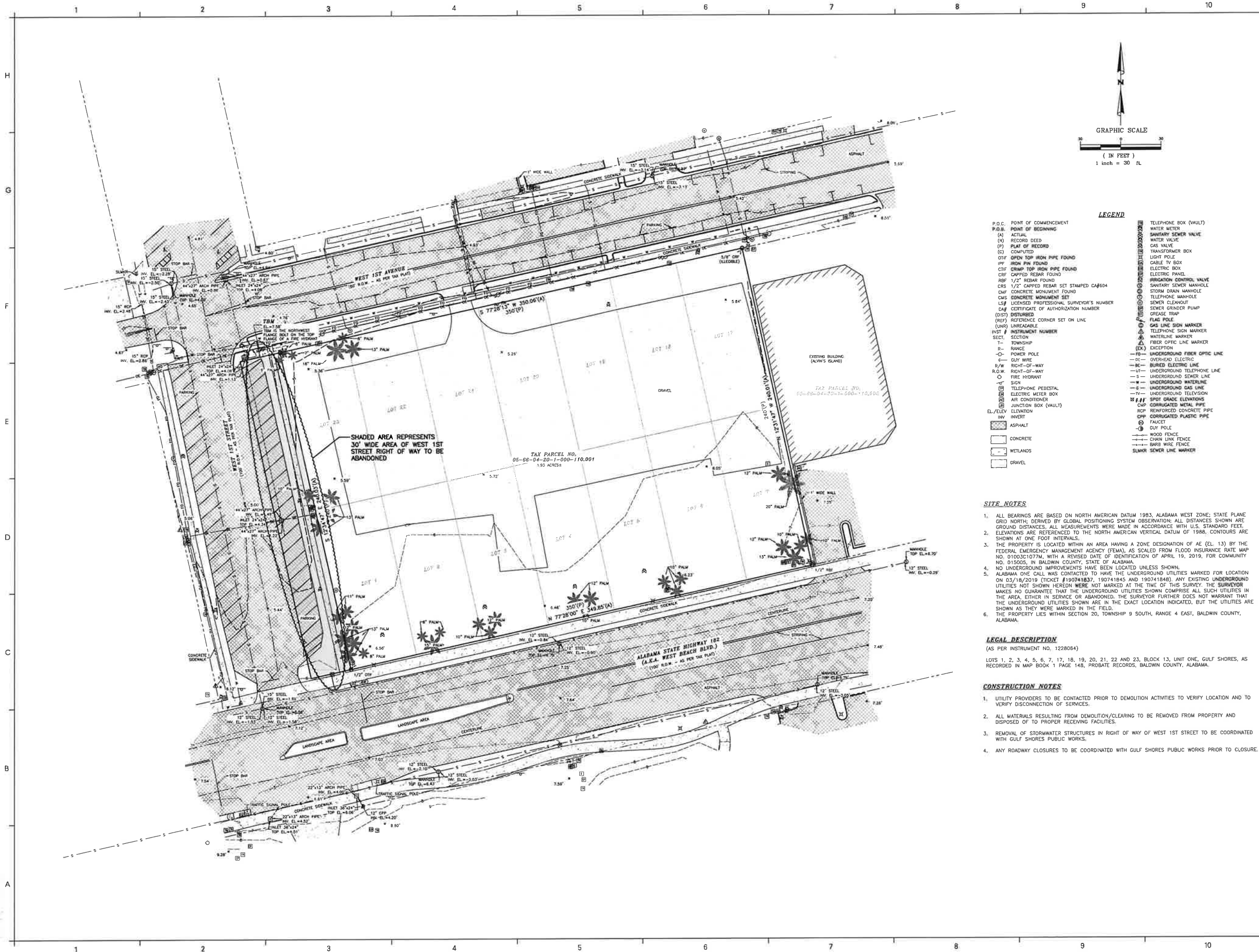
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APPROVED

PROFESSIONAL ENGINEER NO.



BUILDING COMMUNITIES



- LEGEND**
- | | |
|---|------------------------------|
| P.O.C. POINT OF COMMENCEMENT | TELEPHONE BOX (VAULT) |
| P.O.B. POINT OF BEGINNING | WATER METER |
| (A) ACTUAL | SANITARY SEWER VALVE |
| (R) RECORD DEED | WATER VALVE |
| (P) PLAT OF RECORD | GAS VALVE |
| (C) COMPUTED | TRANSFORMER BOX |
| OTF OPEN TOP IRON PIPE FOUND | LIGHT POLE |
| IPF IRON PIPE FOUND | CABLE TV BOX |
| CTF CRIMP TOP IRON PIPE FOUND | ELECTRIC BOX |
| CRF CRIMP REBAR FOUND | ELECTRIC PANEL |
| RBF 1/2" REBAR FOUND | IRRIGATION CONTROL VALVE |
| CRS 1/2" CRIMP REBAR SET STAMPED CA#604 | SANITARY SEWER MANHOLE |
| CNF CONCRETE MONUMENT FOUND | STORM DRAIN MANHOLE |
| CMS CONCRETE MONUMENT SET | TELEPHONE MANHOLE |
| LSJ LICENSED PROFESSIONAL SURVEYOR'S NUMBER | SEWER CLEANOUT |
| CA# CERTIFICATE OF AUTHORIZATION NUMBER | SEWER GRINDER PUMP |
| (DIST) DISTURBED | GREASE TRAP |
| (REF) REFERENCE CORNER SET ON LINE | FLAG POLE |
| (UNR) UNREADABLE | GAS LINE SIGN MARKER |
| INST # INSTRUMENT NUMBER | TELEPHONE SIGN MARKER |
| SECT. SECTION | WATERLINE MARKER |
| T- TOWNSHIP | FIBER OPTIC LINE MARKER |
| R- RANGE | EXCEPTION |
| PO- POWER POLE | UNDERGROUND FIBER OPTIC LINE |
| OW- OUT WIRE | OVERHEAD ELECTRIC |
| RO- RIGHT-OF-WAY | BURIED ELECTRIC LINE |
| FW- FIRE HYDRANT | UNDERGROUND TELEPHONE LINE |
| ST- SIGN | UNDERGROUND SEWER LINE |
| TE- TELEPHONE PEDESTAL | UNDERGROUND WATERLINE |
| EM- ELECTRIC METER BOX | UNDERGROUND GAS LINE |
| AC- AIR CONDITIONER | UNDERGROUND TELEVISION |
| JB- JUNCTION BOX (VAULT) | SPOT GRADE ELEVATIONS |
| EL/ELEV ELEVATION | CMP CORRUGATED METAL PIPE |
| INV INVERT | RCP REINFORCED CONCRETE PIPE |
| ASPH ASPHALT | CPP CORRUGATED PLASTIC PIPE |
| CONC CONCRETE | FAUCET |
| WET WETLANDS | CUT POLE |
| GRAV GRAVEL | WOOD FENCE |
| | CHAIN LINK FENCE |
| | BARB WIRE FENCE |
| | SLMR SEWER LINE MARKER |

- SITE NOTES**
- ALL BEARINGS ARE BASED ON NORTH AMERICAN DATUM 1983, ALABAMA WEST ZONE; STATE PLANE GRID NORTH; DERIVED BY GLOBAL POSITIONING SYSTEM OBSERVATION; ALL DISTANCES SHOWN ARE GROUND DISTANCES. ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH U.S. STANDARD FEET. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. CONTOURS ARE SHOWN AT ONE FOOT INTERVALS.
 - THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF AE (EL. 13) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SCALED FROM FLOOD INSURANCE RATE MAP NO. 01003C1077M, WITH A REVISED DATE OF IDENTIFICATION OF APRIL 19, 2019, FOR COMMUNITY NO. 015005, IN BALDWIN COUNTY, STATE OF ALABAMA.
 - NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED UNLESS SHOWN.
 - ALABAMA ONE CALL WAS CONTACTED TO HAVE THE UNDERGROUND UTILITIES MARKED FOR LOCATION ON 03/18/2019 (TICKET #190741837, 190741845 AND 190741848). ANY EXISTING UNDERGROUND UTILITIES NOT SHOWN HEREON WERE NOT MARKED AT THE TIME OF THIS SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, BUT THE UTILITIES ARE SHOWN AS THEY WERE MARKED IN THE FIELD.
 - THE PROPERTY LIES WITHIN SECTION 20, TOWNSHIP 9 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA.

LEGAL DESCRIPTION
(AS PER INSTRUMENT NO. 1228064)
LOTS 1, 2, 3, 4, 5, 6, 7, 17, 18, 19, 20, 21, 22 AND 23, BLOCK 13, UNIT ONE, GULF SHORES, AS RECORDED IN MAP BOOK 1 PAGE 148, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

- CONSTRUCTION NOTES**
- UTILITY PROVIDERS TO BE CONTACTED PRIOR TO DEMOLITION ACTIVITIES TO VERIFY LOCATION AND TO VERIFY DISCONNECTION OF SERVICES.
 - ALL MATERIALS RESULTING FROM DEMOLITION/CLEARING TO BE REMOVED FROM PROPERTY AND DISPOSED OF TO PROPER RECEIVING FACILITIES.
 - REMOVAL OF STORMWATER STRUCTURES IN RIGHT OF WAY OF WEST 1ST STREET TO BE COORDINATED WITH GULF SHORES PUBLIC WORKS.
 - ANY ROADWAY CLOSURES TO BE COORDINATED WITH GULF SHORES PUBLIC WORKS PRIOR TO CLOSURE.

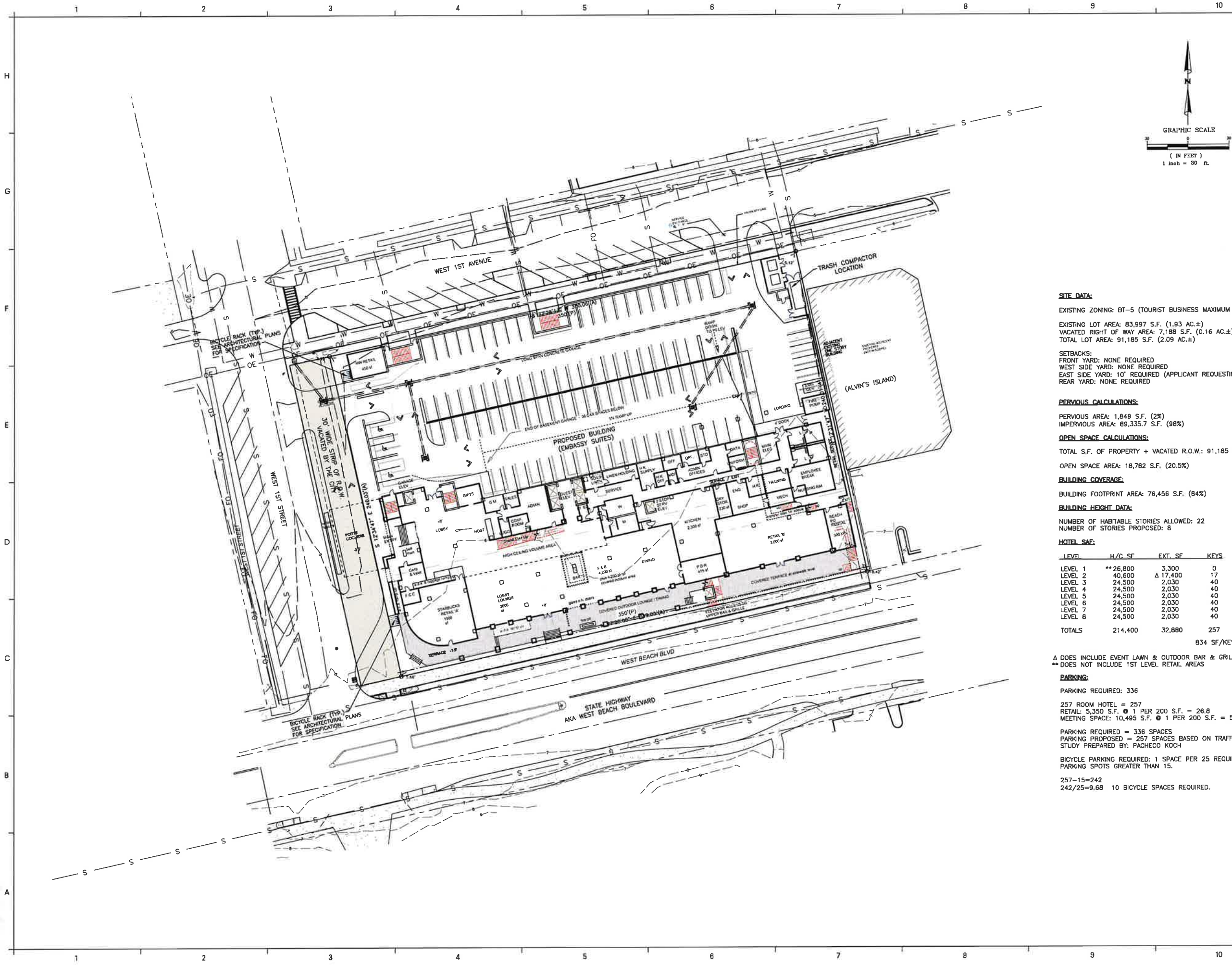
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JANUARY 2022
REVISED: 1/17/19

EMBASSY SUITES
GULF SHORES, ALABAMA

WOODBINE DEVELOPMENT
CORPORATION
GMCProject: CMOB190198

EXISTING SITE
CONDITIONS AND
DEMOLITION PLAN
SCALE: 1"=30'
C2.01
Sheet 2 of 11



SITE DATA:
EXISTING ZONING: BT-5 (TOURIST BUSINESS MAXIMUM DENSITY)
EXISTING LOT AREA: 83,997 S.F. (1.93 AC.±)
VACATED RIGHT OF WAY AREA: 7,188 S.F. (0.16 AC.±)
TOTAL LOT AREA: 91,185 S.F. (2.09 AC.±)

SETBACKS:
FRONT YARD: NONE REQUIRED
WEST SIDE YARD: NONE REQUIRED
EAST SIDE YARD: 10' REQUIRED (APPLICANT REQUESTING DEVIANCE)
REAR YARD: NONE REQUIRED

PERVIOUS CALCULATIONS:
PERVIOUS AREA: 1,849 S.F. (2%)
IMPERVIOUS AREA: 89,335.7 S.F. (98%)

OPEN SPACE CALCULATIONS:
TOTAL S.F. OF PROPERTY + VACATED R.O.W.: 91,185 S.F.
OPEN SPACE AREA: 18,782 S.F. (20.5%)

BUILDING COVERAGE:
BUILDING FOOTPRINT AREA: 76,456 S.F. (84%)

BUILDING HEIGHT DATA:
NUMBER OF HABITABLE STORIES ALLOWED: 22
NUMBER OF STORIES PROPOSED: 8

HOTEL SAE:

| LEVEL | H/C SF | EXT. SF | KEYS |
|---------|----------|----------|------|
| LEVEL 1 | **26,800 | 3,300 | 0 |
| LEVEL 2 | 40,600 | Δ 17,400 | 17 |
| LEVEL 3 | 24,500 | 2,030 | 40 |
| LEVEL 4 | 24,500 | 2,030 | 40 |
| LEVEL 5 | 24,500 | 2,030 | 40 |
| LEVEL 6 | 24,500 | 2,030 | 40 |
| LEVEL 7 | 24,500 | 2,030 | 40 |
| LEVEL 8 | 24,500 | 2,030 | 40 |
| TOTALS | 214,400 | 32,880 | 257 |

834 SF/KEY

Δ DOES INCLUDE EVENT LAWN & OUTDOOR BAR & GRILLE
** DOES NOT INCLUDE 1ST LEVEL RETAIL AREAS

PARKING:
PARKING REQUIRED: 336

257 ROOM HOTEL = 257
RETAIL: 5,350 S.F. @ 1 PER 200 S.F. = 26.8
MEETING SPACE: 10,495 S.F. @ 1 PER 200 S.F. = 52.5

PARKING REQUIRED = 336 SPACES
PARKING PROPOSED = 257 SPACES BASED ON TRAFFIC STUDY PREPARED BY: PACHECO KOCH

BICYCLE PARKING REQUIRED: 1 SPACE PER 25 REQUIRED CAR PARKING SPOTS GREATER THAN 15.

257-15=242
242/25=9.68 10 BICYCLE SPACES REQUIRED.

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EMBASSY SUITES

WOODBINE DEVELOPMENT CORPORATION
GMCProject: CMOB190198

OVERALL SITE PLAN

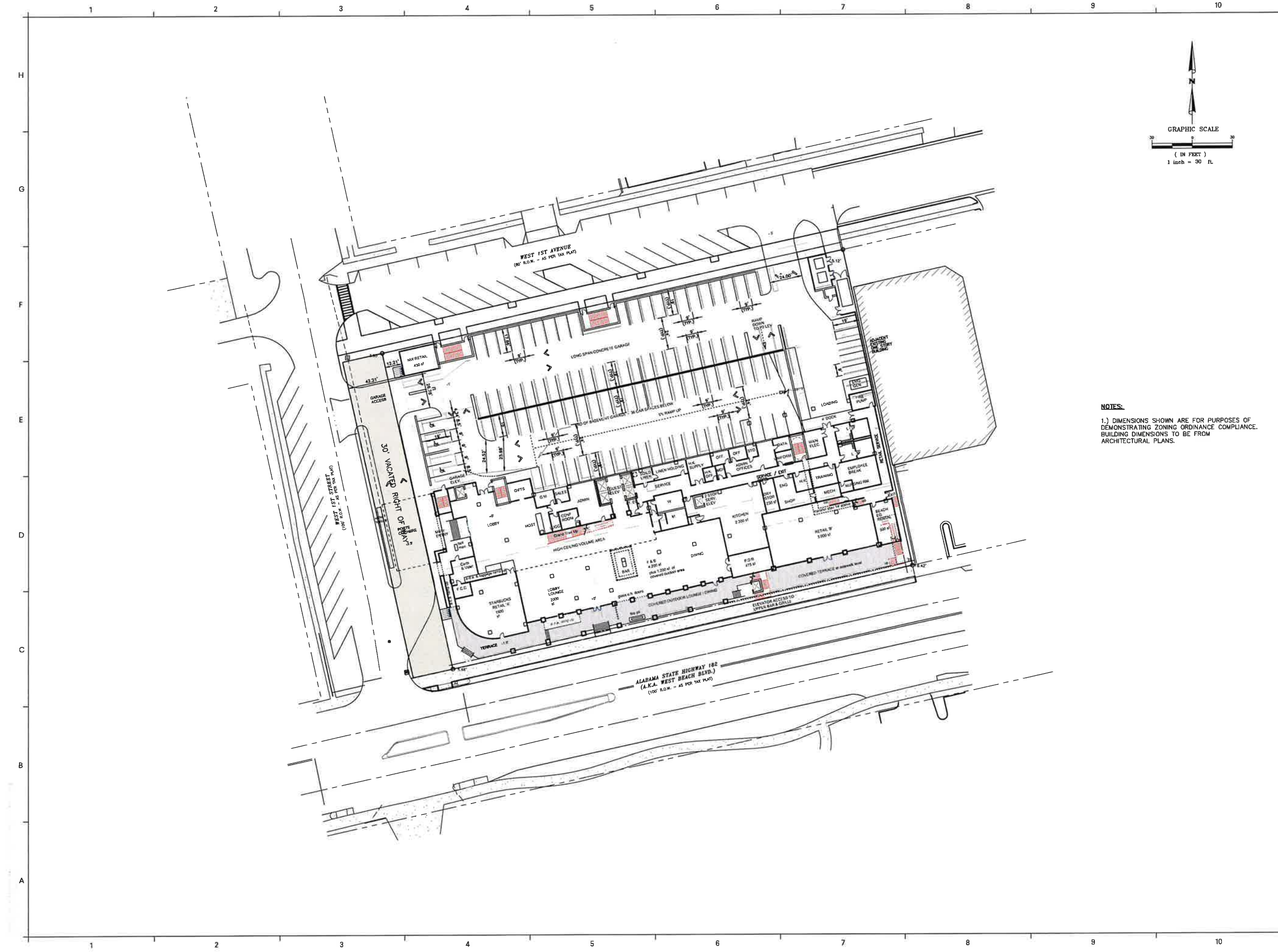
SCALE: 1"=30'

C3.01
Sheet 3 of 11

JANUARY 2022

REVISED: 11/27/19

DRAWN BY: GSC
CHECKED BY:



NOTES:
1.) DIMENSIONS SHOWN ARE FOR PURPOSES OF DEMONSTRATING ZONING ORDINANCE COMPLIANCE. BUILDING DIMENSIONS TO BE FROM ARCHITECTURAL PLANS.

SITE GEOMETRIC
PLAN

SCALE: 1"=30'

C5.01
Sheet 5 of 11

EMBASSY SUITES
GULF SHORES, ALABAMA

WOODBINE DEVELOPMENT
CORPORATION
GMCProject: CMOB190198

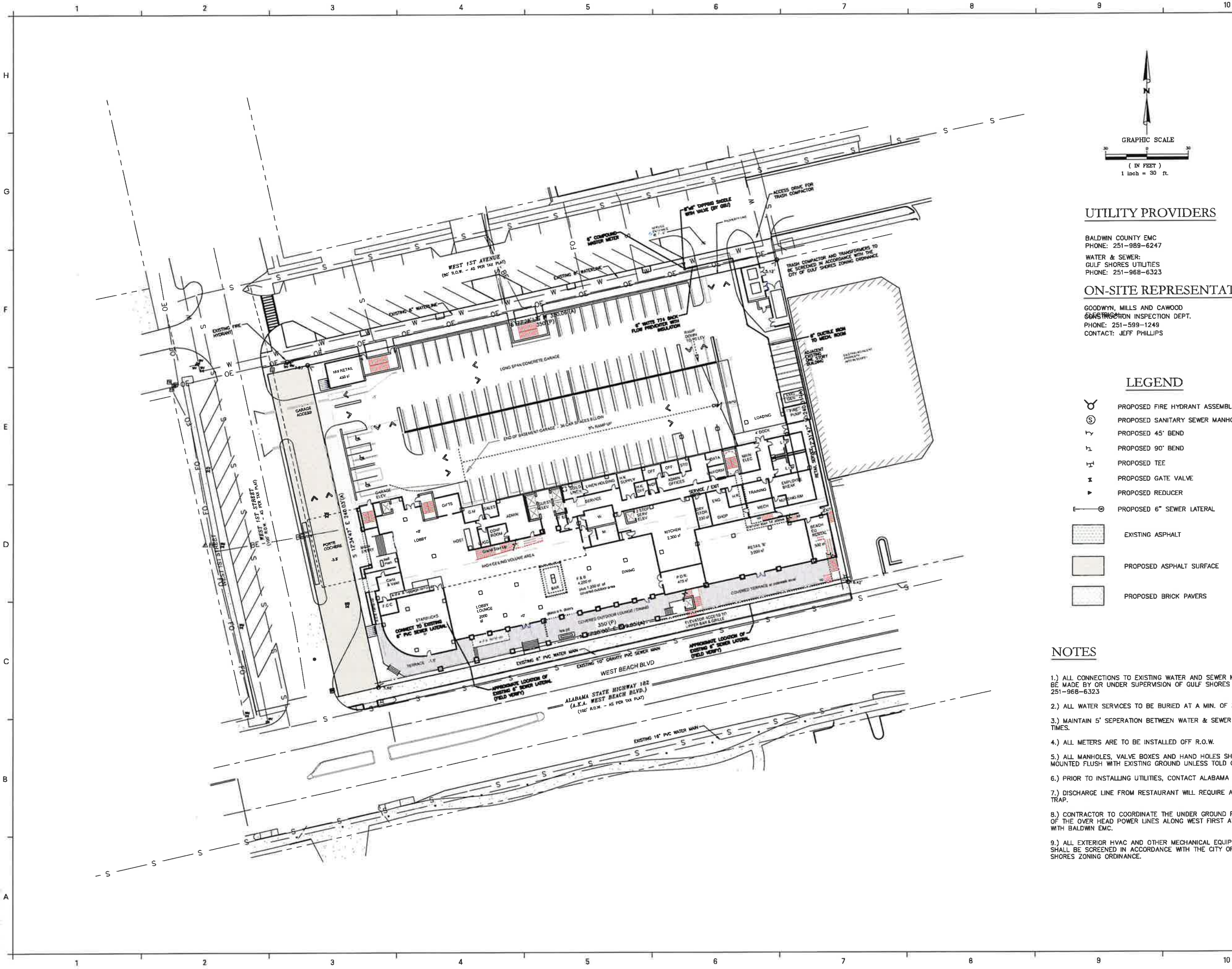
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UTILITY PROVIDERS

BALDWIN COUNTY EMC
PHONE: 251-989-6247
WATER & SEWER:
GULF SHORES UTILITIES
PHONE: 251-968-6323

ON-SITE REPRESENTATIVE

GOODWYN, MILLS AND CAWOOD
CONSTRUCTION INSPECTION DEPT.
PHONE: 251-599-1249
CONTACT: JEFF PHILLIPS

LEGEND

- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED 45° BEND
- PROPOSED 90° BEND
- PROPOSED TEE
- PROPOSED GATE VALVE
- PROPOSED REDUCER
- PROPOSED 6" SEWER LATERAL
- EXISTING ASPHALT
- PROPOSED ASPHALT SURFACE
- PROPOSED BRICK PAVERS

NOTES

- ALL CONNECTIONS TO EXISTING WATER AND SEWER MAINS TO BE MADE BY OR UNDER SUPERVISION OF GULF SHORES UTILITIES. 251-968-6323
- ALL WATER SERVICES TO BE BURIED AT A MIN. OF 36"
- MAINTAIN 5' SEPERATION BETWEEN WATER & SEWER AT ALL TIMES.
- ALL METERS ARE TO BE INSTALLED OFF R.O.W.
- ALL MANHOLES, VALVE BOXES AND HAND HOLES SHOULD BE MOUNTED FLUSH WITH EXISTING GROUND UNLESS TOLD OTHERWISE.
- PRIOR TO INSTALLING UTILITIES, CONTACT ALABAMA ONE CALL.
- DISCHARGE LINE FROM RESTAURANT WILL REQUIRE A GREASE TRAP.
- CONTRACTOR TO COORDINATE THE UNDER GROUND PLACEMENT OF THE OVER HEAD POWER LINES ALONG WEST FIRST AVENUE WITH BALDWIN EMC.
- ALL EXTERIOR HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH THE CITY OF GULF SHORES ZONING ORDINANCE.

SITE UTILITY
PLAN

SCALE: 1"=30'

C6.01
Sheet 6 of 11

EMBASSY SUITES

GULF SHORES, ALABAMA

WOODBINE DEVELOPMENT
CORPORATION
GMCProject: CMOB190198

JANUARY 2022

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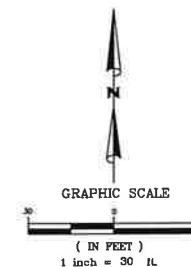
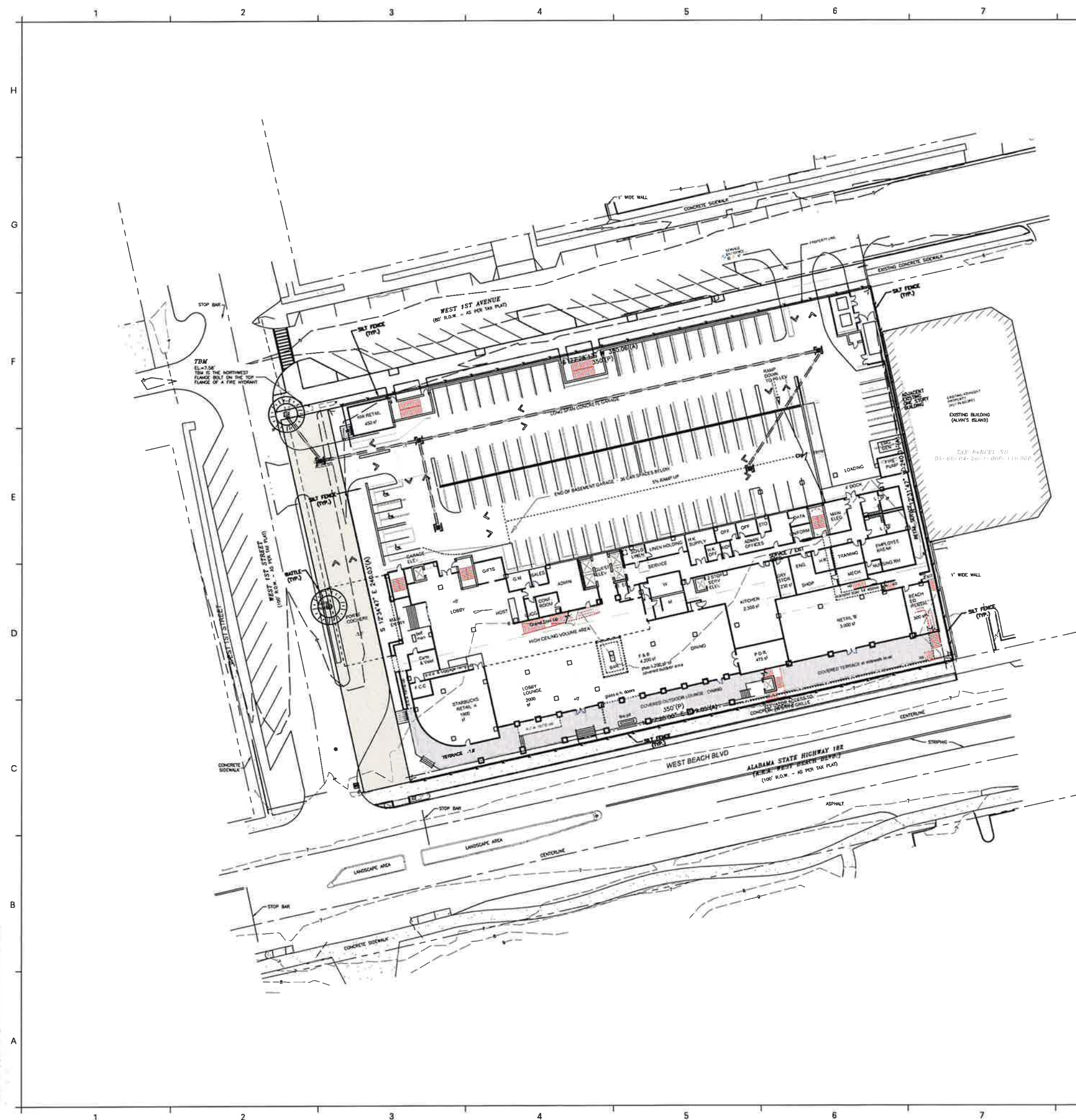
GMC

1. THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTIONAL INSPECTOR 24 HOURS BEFORE THE BEGINNING OF EACH PHASE OF CONSTRUCTION.
2. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMIT SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS IN THE PLAN.
4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
5. THE CONTRACTOR SHALL BE REQUIRED TO USE THE ONE-CALL CENTER TELEPHONE NUMBER (800)292-8525, FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS, HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. CONTRACTOR TO CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE.
7. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING, AND COMPACTED SUBGRADE.
8. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATION. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES.
9. FIRE HYDRANT AND WATER MAINS TO BE INSTALLED AND UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED.
10. THIS SITE TO BE SERVED BY THE LOCAL UTILITIES BOARD.
11. UNLESS DUCTILE IRON PIPE IS USED, MINIMUM PIPE COVER FOR SANITARY SEWER SHALL BE 3 FEET.
12. ALL MANHOLES WITHIN THE 100-YEAR FLOOD PLAIN SHALL HAVE BOLT-DOWN COVERS WITH WATER TIGHT SEALS.
13. NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEAR RINGS ARE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
14. ALL SANITARY SEWER CONSTRUCTION MUST CONFORM TO THE STANDARD REQUIREMENTS OF THE LOCAL UTILITIES BOARD.
15. LOW PRESSURE AIR TESTING REQUIRED FOR ALL SANITARY SEWER SYSTEMS. THIS TEST MUST MEET ALL REQUIREMENTS AS OUTLINED IN ASTM C-828-80 OR CURRENT VERSION.
16. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT OF SANITARY SEWER FOR CONNECTION TO EXISTING OR PROPOSED SEWER SYSTEM.
17. ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
18. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT JOINTS.
19. ALL WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF THE LOCAL UTILITIES BOARD. CONTRACT THE LOCAL UTILITIES BOARD BEFORE TAPPING EXISTING WATER MAIN AND CONNECTING TO SEWER LINE.
20. THE WATER AND SEWER SYSTEM IN THE PUBLIC RIGHT-OF-WAY WILL BECOME THE PROPERTY OF THE LOCAL UTILITIES BOARD UPON COMPLETION.
21. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
22. ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL FRAME AND COVER FOR ACCESS.
23. ALL UTILITIES MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE LOCAL UTILITIES BOARD.












1. ALL CONCRETE SHALL BE CLASS A, 3,000 PSI AT 28 DAYS COMPRESSIVE STRENGTH WITH A MAXIMUM SLUMP OF 4" UNLESS NOTED OTHERWISE. ALL EXPOSED CONCRETE TO HAVE A FINE BROOM FINISH.
2. ALL MATERIALS SHALL BE NEW.
3. ALL DIMENSIONS ARE FACE OF CURB AND FACE OF BUILDING OR AS NOTED
4. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI, SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL CONSTRUCTION.

1. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
2. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER AND DETENTION FACILITIES ARE CONSTRUCTED.
3. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
4. COMPACTION OF THE BACK FILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACK FILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL FILL MATERIAL TO BE UTILIZED ON THE PROJECT SHALL BE FREE OF ORGANIC OR OTHERWISE DELETERIOUS MATERIALS AND COMPACTED TO MINIMUM DRY DENSITIES CORRESPONDING TO 98% OF MAXIMUM DRY DENSITY AS OBTAINED BY STANDARD PROCTOR, ASTM D698. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER WILL BE REQUIRED BY THE LOCAL JURISDICTIONAL INSPECTOR.
6. MAXIMUM SLOPE OF EMBANKMENT SHALL BE 4.0 FEET HORIZONTAL TO 1.0 FOOT VERTICAL.
7. PROPOSED CONTOUR INTERVALS ARE AS LABELED. ALL PROPOSED CONTOURS ARE FINISHED GRADE.
8. THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS IN AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE AT ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
9. EXCESS EARTH CUT MATERIAL, IF ANY, SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE APPROVED TO BE PLACED ON SITE BY THE OWNER.
10. THE CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
11. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.

5. ALL DRAINAGE SWALES MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION.
6. SILT FENCE MUST MEET THE REQUIREMENTS OF ALL LOCAL JURISDICTIONAL AGENCIES.
7. DISTURBED AREAS SHALL BE VEGETATED AFTER CONSTRUCTION.
8. ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS SHOWN AND/OR DIRECTED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
9. WHEN ANY CONSTRUCTION BORDERS A DRAINAGE COURSE:
 - A. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY BUILDING OR OTHER EXCAVATION SPOIL DIRT, CONSTRUCTION TRASH OR DEBRIS, ETC., FROM THE DRAINAGE AREA SHOWN HEREON IN AN EXPEDITIOUS MANNER AS CONSTRUCTION PROGRESSES.
 - B. THE CONTRACTOR HEREBY AGREES TO STOP ALL WORK AND RESTORE THESE AREAS IMMEDIATELY UPON NOTIFICATION BY THE LOCAL JURISDICTIONAL INSPECTOR AND/OR PROFESSIONAL ENGINEER.
10. FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION LAWS.
11. ALL CONSTRUCTION MUST CONFORM TO LOCAL JURISDICTIONAL STANDARDS. NOTIFY THE LOCAL JURISDICTIONAL INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.
12. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.
13. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROGRESS.
14. CONSTRUCTION SILT FENCE ALONG THE DOWNSTREAM SIDE OF ALL PROPOSED FILL CONSTRUCTION.
15. EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
16. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT POUNDS WHEN REQUIRED BY ENGINEER OR LOCAL JURISDICTIONAL INSPECTOR. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
17. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE UTILIZED FOR EROSION CONTROL. IN THE DETENTION POND, SILT SHALL BE REMOVED WHEN A DEPTH OF 18" HAS ACCUMULATED AT THE WEIR.
18. ALL EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION IN ACCORDANCE WITH EASEMENT PLATS PRIOR ACCEPTANCE.
19. SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
20. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
21. TREE PROTECTION AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE & MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
22. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER AND DETENTION FACILITIES ARE CONSTRUCTED.
23. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
24. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
25. ALL SLOPES SHALL BE STABILIZED AS SOON AS POSSIBLE.
26. GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH GRASS IN KIND. IN AREAS OF INDISCIPHERABLE GRASSES-USE CENTIFEDE.
27. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM REQUIRED MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL DEVICES TO ENSURE THEIR FUNCTION AT ALL TIMES.
28. THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT FROM THE DETENTION POND UPON PROJECT COMPLETION.
29. CONSTRUCTION PHASE DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL AT NO ADDITIONAL EXPENSE WATER THE SITE AS NEEDED TO MINIMIZE AIRBORNE DUST TRANSPORTATION.



LEGEND

- | | |
|---|---------------------------------|
|  | PROPOSED ASPHALT |
|  | PROPOSED CONCRETE |
|  | PROPOSED DRAINAGE PIPE |
|  | PROPOSED DOUBLE S-INLET WATTLE |
|  | PROPOSED SINGLE S-INLET WATTLE |
|  | PROPOSED GRATE INLET WATTLE |
|  | PROPOSED SILT FENCE |
|  | PROPOSED LIMITS OF CONSTRUCTION |
|  | PROPOSED TEMPORARY WATTLE |
|  | PROPOSED RIP RAP |
|  | PROPOSED TREE PROTECTION |

NOTE:

1. NPDES CONSTRUCTION GENERAL PERMIT, PART III, B, REQUIRES MEASURES TO BE IMPLEMENTED ON ALL AREAS NOT UNDERGOING ACTIVE DISTURBANCE OR ACTIVE CONSTRUCTION AND PROGRESSIVE CONSTRUCTION FOR LONGER THAN 13 DAYS TO PREVENT/MINIMIZE EROSION AND ENSURE TIMELY TEMPORARY VEGETATIVE COVER, AND PERMANENT VEGETATION OR COVER OF ALL DISTURBED AREAS WHEN DISTURBANCE IS COMPLETE.
2. ALL CONSERVATION AREAS SHALL BE STABILIZED IMMEDIATELY. ALL AREAS WITHIN THE RIGHT OF WAY ARE TO BE SOLID SOD.
3. THE CONTRACTOR SHALL TAKE ALL MEASURES TO ENSURE THAT SOD THRIVES AFTER INSTALLATION.
4. THIS SITE SHALL COMPLY WITH ALL CITY ORDINANCES, INCLUDING EROSION & SEDIMENTATION CONTROL AND WETLANDS.
5. ALL CLEARING AND DEMOLITION DEBRIS, CONSTRUCTION AND DOMESTIC SHALL BE REMOVED FROM THE SITE.
6. WASTE, AND HAZARDOUS AND TOXIC WASTE SHALL BE HAULED OFF SITE AND PROPERLY DISPOSED OF.
7. CONTRACTOR IS REQUIRED TO SUPPLY AND MAINTAIN MEASURES NEEDED TO PROTECT THE EXISTING TREES DURING ALL PHASES OF CONSTRUCTION.
8. THE EROSION CONTROL MEASURES SHOWN ARE A REQUIRED MINIMUM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF SEDIMENT TRANSPORT FROM THIS PROPERTY IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ADDITIONAL DEVICES AND IMPLEMENT ADDITIONAL PRACTICES IF WARRANTED BY FIELD CONDITIONS.
9. THE CONTRACTOR'S SITE SUPERINTENDENT SHALL INSPECT AND MAINTAIN ALL EROSION CONTROL DEVICES AND PRACTICES DAILY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES EXCEPT CHANNEL LINING AND OUTLET PROTECTION AFTER SITE STABILIZATION. THE CONTRACTOR SHALL DRESS ALL AREAS TO THE LINE AND GRADE SHOWN ON THESE PLANS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND/OR FLUSHING SEDIMENT FROM EXISTING STORM DRAINS IF AN EXCESSIVE AMOUNT IS COLLECTED DURING CONSTRUCTION ACTIVITIES.
12. REMOVE ACCUMULATED SEDIMENT WHEN DEPTH REACHES 1/4 OF THE HEIGHT OF BARRIER.
13. THE CONTRACTOR IS REQUIRED TO MAINTAIN THE STONE IN THE CONSTRUCTION ENTRANCE THROUGHOUT CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRACKING OR SEDIMENT LEAVING THE SITE.

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2039 Main Street
Daphne, AL 36526
T 251.626.2626
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EMBASSY SUITES

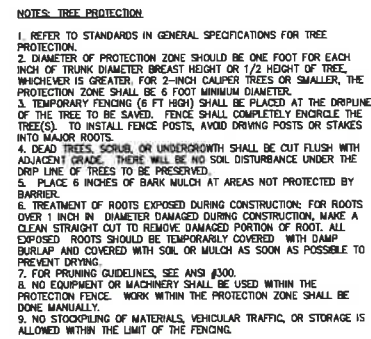
GULF SHORES, ALABAMA

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GMCProject: CMOB190198

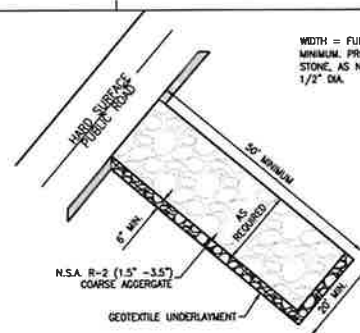
SITE EROSION CONTROL DETAILS

SCALE: 1"=30'

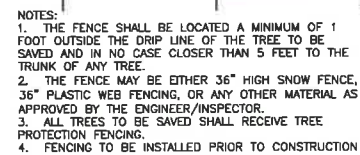
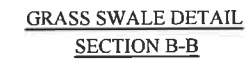
C9.01
sheet 9 of 11



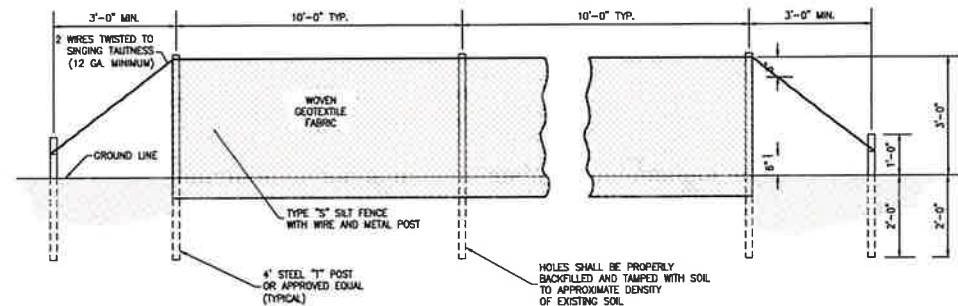
TREE PROTECTION



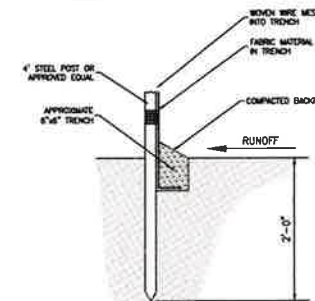
STONE PAD CONSTRUCTION ENTRANCE & EXIT



TREE PROTECTION FENCE



SILT FENCE
TYPICAL SILT FENCE INSTALLATION



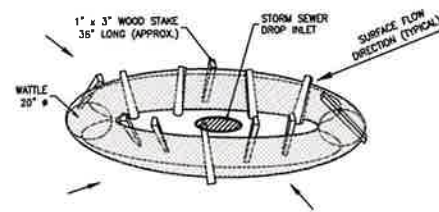
SECTION

1. TYPE "A" SLIT FENCE SHALL BE USED IN AREAS OF CONCENTRATED FLOW.
2. SLIT FENCES ARE TEMPORARY EROSION CONTROL ITEMS THAT SHALL BE ERECTED OPPOSITE ERODIBLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS.
3. SLIT FENCE SHOULD BE PLACED WELL INSIDE PROPERTY BOUNDARY AND ALONG EDGE OF CLEARING LIMITS. THIS WILL ALLOW ROOM FOR A BACK-UP FENCE IF FIRST BECOMES FULL. SLIT FENCES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION OPERATION.
4. WHEREVER POSSIBLE, SLIT FENCES SHALL BE CONSTRUCTED ACROSS A FLAT AREA IN THE SHAPE OF A HORSESHOE. THIS AIDS IN FLOODING OF RUNOFF AND FACILITATES SEDIMENTATION.
5. AFTER THE CONSTRUCTION AREA IS STABILIZED AND EROSION ACTIVITY CURTAILED, SLIT FENCES SHALL BE REMOVED.
6. RING FASTENERS USED TO SECURE GEOTEXTILES TO WOVEN WIRE SHALL BE 13 GA. (AMERICAN).
7. IF WOOD POSTS ARE USED, STAPLES FOR SECURING WOVEN WIRE TO POSTS SHALL BE NINE (9) GAUGE, GALVANIZED, 1 1/2" LONG, FIVE (5) PER POST @ APPROXIMATELY 1'-0" ON CENTER.
8. WOVEN WIRE SHALL BE 12 1/2 GAUGE (MINIMUM).

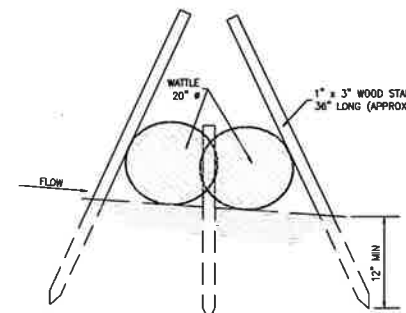
SPECIFICATIONS

CURRENT ALABAMA DEPARTMENT OF TRANSPORTATION

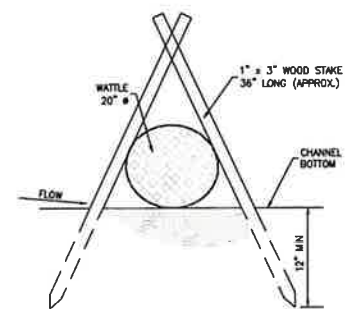
SILT FENCE NOTES



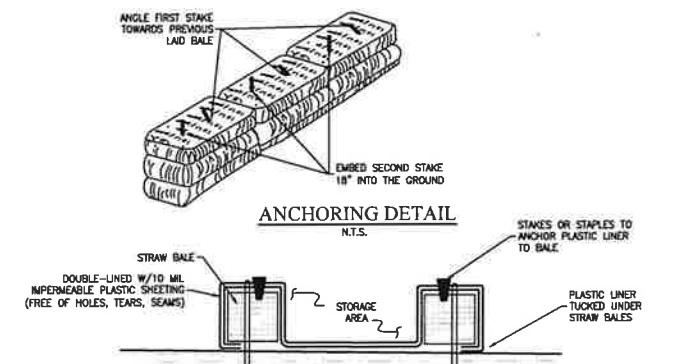
DROP INLET PROTECTION



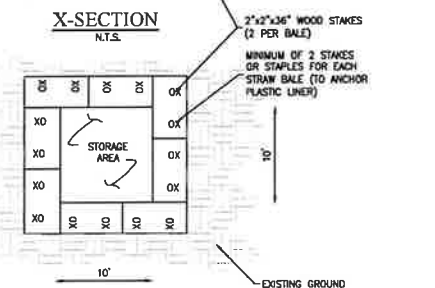
SECTION A-A



SECTION B-B



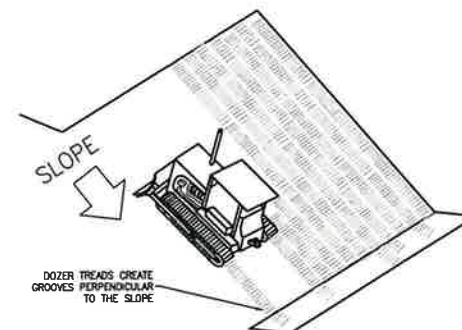
ANCHORING DETAIL



PLAN VIEW

ABOVE-GRADE CONCRETE WASHOUT PIT

- NOTES: N.T.S.
- 1) ANCHOR AND EMBED INTO SOIL TO PREVENT WASHOUT OR WATER WORKING UNDER BARRIER.
 - 2) REPAIR OR REPLACEMENT MUST BE MADE PROMPTLY AS NEEDED.



SURFACE ROUGHENING

2039 Main Street
Daphne, AL 36526
T 251.626.2626
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EMBASSY SUITES
GULF SHORES, ALABAMA

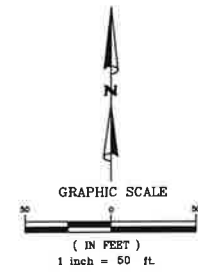
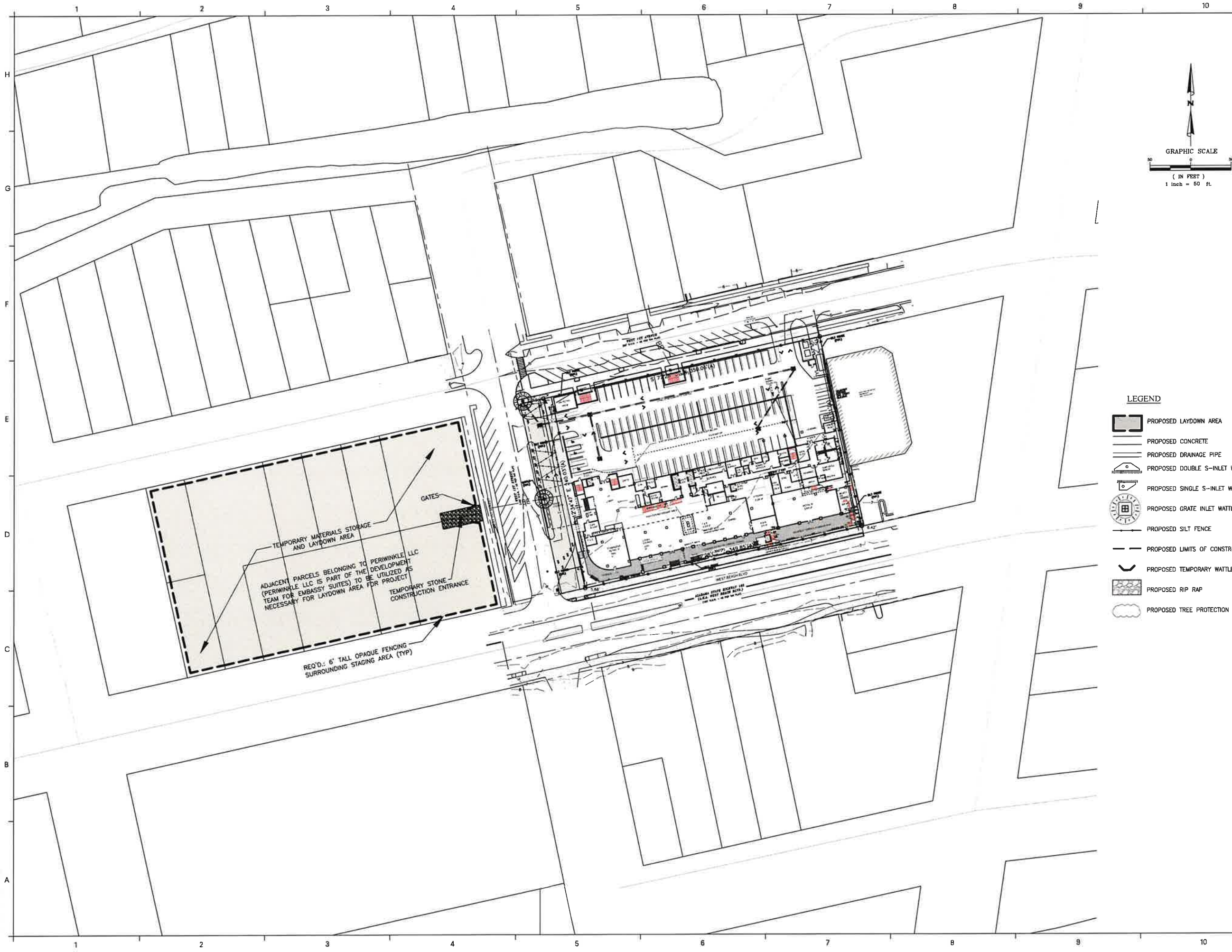
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EROSION CONTROL DETAILS

SCALE: AS SHOWN

C9.02
sheet 10 of 11

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LEGEND

- PROPOSED LAYDOWN AREA
- PROPOSED CONCRETE
- PROPOSED DRAINAGE PIPE
- PROPOSED DOUBLE S-INLET WATTLE
- PROPOSED SINGLE S-INLET WATTLE
- PROPOSED GRATE INLET WATTLE
- PROPOSED SILT FENCE
- PROPOSED LIMITS OF CONSTRUCTION
- PROPOSED TEMPORARY WATTLE
- PROPOSED RIP RAP
- PROPOSED TREE PROTECTION

MATERIALS STORAGE
AND LAYDOWN AREA

SCALE: 1"=50'

C10.01
Sheet 11 of 11

EMBASSY SUITES
GULF SHORES, ALABAMA

WOODBINE DEVELOPMENT
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2039 Main Street
Daphne, AL 36526
T 251.626.2626
GMCNETWORK.COM

